

Village of Midlothian Building Department

14801 S. Pulaski Road, Midlothian, IL 60445
P: (708) 385-8642 F: (708) 389-0255

buildingdepartment@villageofmidlothian.org

LOT DEFINITIONS

SUBMIT A PLAT OF SURVEY IF REQUIRED, SCOPE OF WORK AND PROFESSIONAL DRAWINGS TO SHOW THE BUILDING DEPARTMENT YOUR PROPOSED PLAN.

**CONTACT THE BUILDING DEPARTMENT IF YOU HAVE ANY QUESTIONS.
BUILDINGDEPARTMENT@VILLAGEOFMIDLOTHIAN.ORG OR CALL 708-385-8642**

PLAT OF SURVEY: The legal description and diagram used to describe your property. This survey is usually given to you at closing.

BUILDING LINE or BUILDING SETBACK LINE: A line established herein generally parallel with the street line. Between such line and the street line, the front line of a building shall not be built or located. A corner lot is considered to have 2 building lines.

PUBLIC UTILITY and DRAINAGE EASEMENT: No decks, sheds, pools, garages, or other structures can be built inside this area. Elevated landscaping These objects obstruct the flow of water and may cause flooding problems for you and your neighbors. Fences are usually allowed except in the Special Flood Hazard Area (FEMA's SFHA)

RIGHT-OF-WAY (R.O.W.): The dividing line between a lot, tract or parcel of land and the dedicated right-of-way on a contiguous street.

ACCESSORY BUILDING: A subordinate building or structure (i.e., garage, shed) on the same lot, not a part of the main building, and devoted to an accessory use.

FRONT LINE, BUILDING: The line of the main wall nearest to and facing the street, including such wall of sun parlors or porches, open or enclosed, and excluding only open steps and terraces, and walls or fences not more than three and one-half feet ($3\frac{1}{2}$) in height. A corner lot is considered to have 2 front building lines.

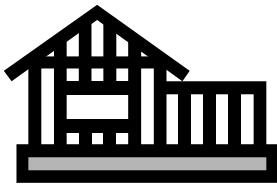
FRONTAGE: That dimension of property fronting on one side of a street between the two (2) nearest intersecting streets, measured along the line of the street, or if dead ended, then that dimension of property abutting on one side between an intersecting street and the dead end of the street.

FRONTAGE, ZONING LOT: That dimension of property of such zoning lot fronting on a street and measured between side lot lines.

LOT: A parcel of land under single ownership, whether described by metes and bounds or as a platted lot or lots.

LOT AREA: The area of a horizontal plane bounded by the front, side, and corner lot lines.

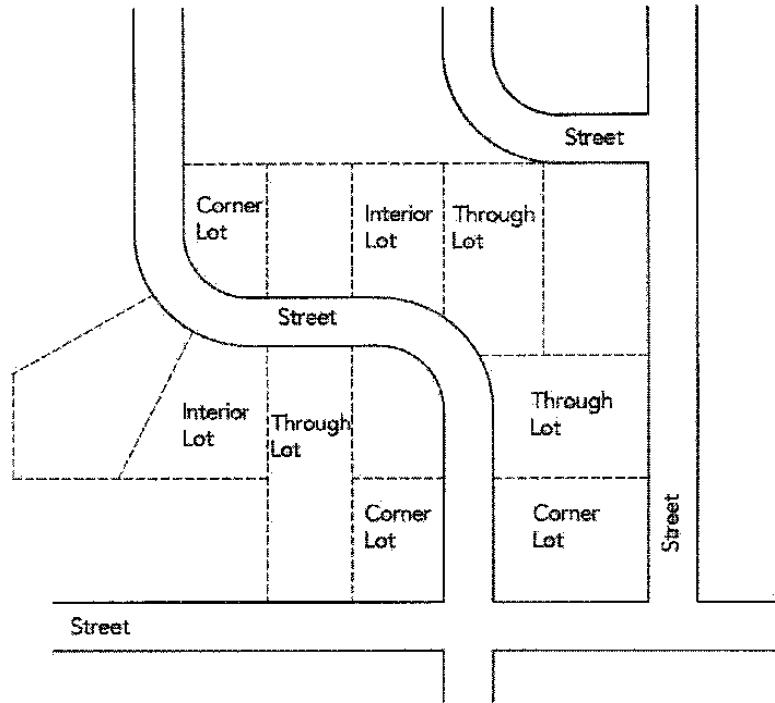
LOT AREA, GROSS: The area of a horizontal plane bounded by the front, side, and rear lot lines, but not including any area occupied by the waters of a duly recorded lake or river.



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LOT, CORNER: A lot located at the intersection of two (2) streets, or a lot bounded on two (2) sides by a curving street, any two (2) chords of which form an angle of one hundred twenty degrees (120°) or less, as measured on the lot side.

LOT COVERAGE: A measure of intensity of land use that represents the portion of a site that is covered by principal and accessory buildings.

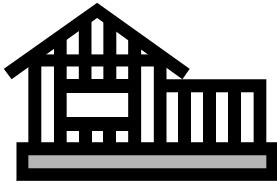
LOT DEPTH: The mean horizontal distance between the front lot line and the rear lot line of a lot, measured within the lot boundaries.

LOT, INTERIOR: A lot other than a corner lot or a through lot.

LOT LINE, FRONT: The boundary of a lot that is along an existing or dedicated public street, or where no public street exists, is along a public way, where such public way is not a dedicated street, the right of way of such public way shall be deemed to be sixty-six feet (66'), unless otherwise provided.

LOT LINE, REAR: That boundary of a lot, which is most distant from and is, or is most nearly, parallel to the front lot line.

LOT LINE, SIDE: Any boundary of a lot that is not a front lot line or a rear lot line.



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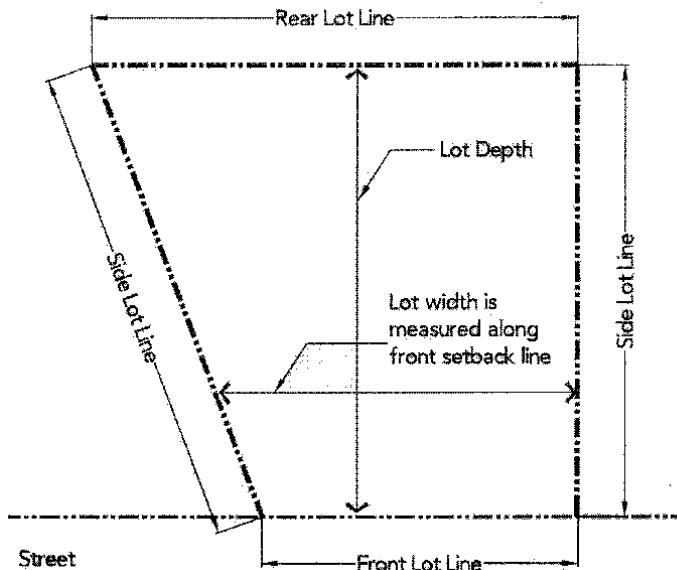
LOT OF RECORD:

An area of land designation as a lot on a plat of subdivision recorded or registered with the county recorder of deeds.

LOT, REVERSED CORNER: A corner lot where the street side lot line is substantially a continuation of the front lot line of the first lot to its rear.

LOT, THROUGH: A lot having frontage on two (2) streets at opposite ends of the lot.

LOT WIDTH: The horizontal distance between the side lot lines of a lot measured at the building setback line.

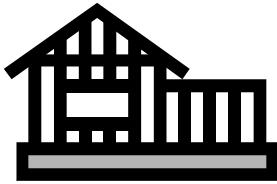


LOT, ZONING: A single tract of land located within a single block which, at the time of filing for a building permit, is designated by its owner or developer as a tract to be used, developed, or built upon as a unit, under single ownership or control. A zoning lot may or may not coincide with a lot of record.

PUBLIC WAY: Any sidewalk, street, alley, highway, or other public thoroughfare.

SETBACK: The minimum horizontal distance between the front line of the building or structure and the front property line. A corner lot is considered to have 2 front lines.

YARD: An open space, on the same zoning lot with a building or structure, unoccupied and unobstructed from its lowest level to the sky, except as otherwise permitted in this title. A "yard" extends along a lot line and to a depth or width specified in the yard requirements for the zoning district in which such zoning lot is located.



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YARD, CORNER SIDE: A side yard on a corner lot which faces a public street. In differentiating the corner side yard from the front yard on corner lots, the corner side yard shall be the yard with the greater width.

YARD, FRONT: An open unoccupied space between the front line of the building and the street line. In differentiating the front yard from the corner side yard on corner lots, the front yard shall be the yard with the narrowest width.

YARD, INTERIOR SIDE: A side yard that is located immediately adjacent to another zoning lot or to an alley separating such side yard from another zoning lot.

YARD, REAR: An open space between the rear line of the building and the rear line of the lot, for the full width of the lot and unoccupied except for authorized accessory buildings.

YARD, SIDE: An open unoccupied space on the same lot with a building between the building and the sideline of the lot, and extending from the street line to the rear line of the building, except on a corner lot, the side yard on the street side shall extend from the front street line to the rear lot line.

